



# Design Review Board Agenda

15728 Main Street, Mill Creek, Washington 98012

---

**May 19, 2016**

**5:15 p.m.**

***COUNCIL CHAMBERS***

- |   |                  |
|---|------------------|
| <b>I. CALL TO ORDER:</b>  | <b>5:15 p.m.</b> |
| <b>II. ROLL CALL:</b>   | <b>5:15 p.m.</b> |
| <b>III. APPROVAL OF MINUTES:</b>  | <b>5:16 p.m.</b> |
| A. Approval of April 21, 2016 Meeting Minutes <sup>(1)</sup>                          |                  |
| <b>IV. NEW BUSINESS:</b>  | <b>5:17 p.m.</b> |
| A. Mill Creek Sports PL 2016-008 – Building Elevations and Landscaping <sup>(2)</sup> |                  |
| <b>V. ADJOURNMENT:</b>  | <b>5:45 p.m.</b> |

**ATTACHMENTS:**

1. April 21, 2016 Meeting Minutes
2. Staff report

G:\EXECUTIVE\WP\BOARDS\Design Review Board\AGENDAS\2016\January 21.docx

*We are trying to make our public meetings accessible to all members of the public. If you need special accommodations, please call City Hall three days prior to this meeting (425) 745-1891.*



**CITY OF MILL CREEK  
DESIGN REVIEW BOARD MEETING MINUTES  
April 21, 2016**

Draft

**DRB Members:**

Dave Gunter, Chair  
Beverly Tiedje, Vice Chair  
D. Wayne Bisom  
David Hambelton (absent)  
Tina Hastings

**Park Board Members:**

Jim Erlewine, Chair  
Brett Nagle, Vice Chair (absent)  
Mark Johnson  
Gary Harrison (absent)  
Gordon Keene (absent)  
Matt McGrath (absent)  
David Chapin

**Community Development Staff:**

Sherrie Ringstad, Planning Specialist  
Tom Gathmann, Director of Facilities, Parks and Recreation

**I. CALL TO ORDER:**

DRB Chair Gunter called the meeting to order at 5:15 p.m.

**II. ROLL CALL:**

All members were present as noted above except Member Hambelton, whose absence is excused.

**III. MINUTES:**

A. Minutes of March 17, 2016

**MOTION: Member Bisom moved, seconded by Member Hastings, to approve the March 17, 2016 minutes as presented. The motion was approved unanimously.**

**IV. NEW BUSINESS:**

Joint Meeting with the Park Board Regarding North Pointe Park

Director of Facilities, Parks and Recreation Tom Gathmann noted that North Pointe Park is the last undeveloped neighborhood park in the City and stated that in 2016 staff will be working with the Parks and Recreation Advisory Board (Park Board) on a process to develop a park master plan to recommend to the City Council. Director Gathmann explained that the Park Board met and came up with four alternatives: 1) natural play, 2) traditional, 3) arboretum, and 4) no change. He suggested that the Board Members split up into groups to further develop the first three alternatives. At 5:22 p.m. the Board recessed to break into groups.

The Board reconvened at 5:50 p.m. and each group described their alternative as follows:

Traditional

- Pavilion in the middle
- Play equipment adjacent to the pavilion
- Groupings of trees
- Pathways crossing through the middle of the park
- Trail/sidewalk around perimeter of park

Natural Play

- Mound in center featuring terraced seating overlooking the play area
- Penny Creek water feature, incorporating actual site drainage facilities (no pumped or recirculated water)
- Play area incorporating natural mound with tunnel and slide component and climbing rocks
- Wooden walkway crossing water feature and leading to play mound
- Grove of shade trees as a back drop to the natural play area
- Pedestrian oriented – bike racks, etc.
- Sidewalk around the park
- Additional diagonal parking if necessary
- Open play lawn area

Arboretum

- Trees around the world theme
- Rain garden featuring a bridge and pathway crossing the raingarden, Willow trees and plants that like the wet conditions, also utilizing onsite stormwater retainage

- Mound featuring dry trees such as Pine and Sequoia, large landscape rocks
- Asia area featuring flowering cherry trees
- Europe area featuring fall color trees
- Play area adjacent to mound including seating
- Oak grove in the middle of the park
- Open lawn play area in the middle, underneath the Oak trees
- Pathways crossing the middle of the park

Chair Gunter asked Tom Gathmann if he could share the final concepts with the Design Review Board when they are finished.

**V. ADJOURNMENT:**

**MOTION: Chair Gunter adjourned the meeting with the consensus of the Board Members at 6:15 p.m.**

Submitted by:

---

Sherrie Ringstad, Planning Specialist

**CITY OF MILL CREEK  
DESIGN REVIEW BOARD  
APPLICATION PL2016-0008**

**PART I - SUMMARY INFORMATION**

**NAME OF PROJECT:** Mill Creek Sports

**APPLICANT:** Harold Christensen  
Lance Mueller Architects  
130 Lakeside, Suite 250  
Seattle, Washington 98122

**LOCATION:** The project is located at 1200 Dumas Road, Mill Creek, Washington.

**PROPOSAL:** Review of building elevations and landscaping.

**ZONING:** Community Business - CB

**PART II – DESIGN REVIEW BOARD AUTHORITY**

**Building Elevations, Materials, and Colors:**

In accordance with Mill Creek Municipal Code (MCMC) Section 17.34.020, the Design Review Board (DRB) shall review building elevations, materials, colors, and landscaping for commercial and industrial developments. Design guidelines for commercial, business park/industrial buildings are set forth in MCMC Section 17.34.040.B. Design guidelines for landscaping are contained in MCMC Section 17.34.040.H.

**PART III – PROJECT DESCRIPTION**

On May 3, 2016, the City of Mill Creek Hearing Examiner approved the Binding Site Plan to construct a 13,122 square foot building on a 3.73 acre site. The first floor will have 2,256 square feet for the retail sales of sports memorabilia and 8,147 square feet of storage area. A 2,719 square foot mezzanine will be built over the retail area for office use. In addition to the new building, there will be parking improvements, landscaping, pedestrian access, utility infrastructure improvements, and a 35-foot wide landscaped roadway buffer on Dumas Road and Bothell-Everett Highway. The site includes two Category III wetlands, which require 100 foot buffers. The applicant is proposing to average a portion of the on-site buffers in accordance with MCMC Section 18.06.930(C).

See the *Attached Site Plan, Sheet A1.0*.

## **PART IV – PROJECT ANALYSIS**

Below is an analysis and summary of the consistency of the proposal with the City’s Design Guidelines:

### **Building Elevation Criteria**

The Code requires that buildings incorporate modulation to reduce the overall bulk and mass of buildings and to avoid blank walls. In addition, building design shall incorporate traditional building materials such as masonry, stone, stucco, heavy timbers, brick, and other natural appearing materials. Building colors should accent, blend with, or complement surroundings. Bright or brilliant colors should be reserved for trim and accents. The City’s building design objectives call for a consistent visual identity to be applied to all sides of buildings visible to the general public and for all building sides to have an equivalent level of quality of materials, detailing, and window placement.

### **Proposal – Building Elevations, Materials and Colors**

#### **Building:**

The proposed building exterior materials and colors (See *Attached Exterior Elevations, Sheet A3.0, and Building Material and Color Samples Sheet*) will include a combination of split face and smooth face concrete masonry units (CMU) consisting of neutral colors (charcoal, sandstone and khaki), arranged in varying width horizontal bands and vertical patterns to help break up the building bulk. “Cool hemlock green” color metal canopies installed just above the ground floor windows will act as both weather protection and an additional horizontal element. The cornice along the roofline will also be cool hemlock green, and window glazing will be clear glass. HVAC units on the roof will be screened by parapets that extend above the main roofline (See *Attached Plan Set, Sheet A1.1, Roof Plan Details*).

As proposed, staff believes that the building elevations are in compliance with the design guidelines contained in the Code.

#### **Trash Enclosure:**

The proposed trash enclosure, located in the southwest corner of the parking lot, will be constructed of khaki, sandstone and charcoal CMU walls along the side and rear sides, with metal gates painted “cool hemlock green” color, to match the canopies and cornice. (See *Attached Exterior Elevations, Sheet A3.0*)

As proposed, the trash enclosure reflects the building architecture, coordinates with the building materials and colors, and is in compliance with the design criteria.

### **Landscaping Criteria**

City code requires that project landscaping provide unity of design through repetition of plants and coordination with adjacent developments. The Code requires landscape materials to be a hardy species adaptable to local conditions, easily maintained, and drought tolerant. Use of native plants and the retention of existing vegetation are strongly encouraged. In addition, required landscape areas shall be densely landscaped with a combination of trees, shrubs, and groundcover to provide 90 percent coverage within three years of planting.

### Proposal - Landscaping and Tree Preservation

Per the conditions of the Binding Site Plan approval, the applicant has submitted a tree preservation plan and is making an effort to retain those trees and vegetation not specifically required for removal by utility installation, the installation of the parking lot, and the new building. To supplement the preserved trees and vegetation, the applicant has selected primarily native plants. *Sheet L-1* includes the landscape planting schedule with the complete plant listing.

### Proposal - Roadway Buffer, Parking Lot and Building Perimeter Landscaping

For the required 35-foot wide roadway buffer, the building perimeter, as well as the landscape islands between every 10 parking spaces, as required by code, the applicant's proposed landscaping includes primarily drought tolerant and/or native plants. Proposed plants include Red Sunset Maple, Chanticleer Pear, Arborvitae, Red Twig Dogwood, Rhododendron, Honeysuckle, Fountain Grass, Laurel, Lavender, Nandina, Blue Fescue Grass, Daylily, Heather and Kinnickinnick. See *Attached Landscape Plan, Sheet L-1*, for the landscape plan detail.

As proposed, the landscape plan is in compliance with the design criteria.

## **PART V - FINDINGS, CONCLUSIONS, AND RECOMMENDATION**

Having viewed the property and reviewed the application, City staff finds that the proposed building elevations and landscaping are consistent with the design guidelines set forth in MCMC Section 17.34.040. Based on these findings and conclusions, staff recommends approval subject to the following conditions.

1. The building elevations, materials, colors, and design, and the landscaping materials and design shall be as portrayed in the application.
2. A landscape performance bond in the amount of 125% of the proposed cost of materials and installation shall be provided to the City prior to beginning construction of the preliminary plat, pursuant to MCMC Section 16.16.040.
3. Irrigation shall be provided for the landscaping, per MCMC Section 17.34.040.H.1.d. The irrigation system will require a building permit. The permit is an over-the-counter plumbing permit, no plans required, with an inspection of the system's backflow prevention.
4. Deciduous tree planting shall be in compliance with the City's tree planting standard plan specifications. To reduce tree root growth under the pavement, a vertical root barrier treatment shall be installed in the parking lot landscape islands.

### ATTACHMENTS:

*Site Plan, Sheet A1.0*

*Exterior Elevations, Sheet A3.0*

*Building Material and Color Samples Sheet*

*Plan Set, Sheet A1.1, Roof Plan Details*

*Landscape Plan, Sheet L-1*

## LEGAL DESCRIPTION

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST. W.M., IN SNOHOMISH COUNTY, WASHINGTON, THENCE SOUTH ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION FOR 1029 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING SOUTH ALONG SAID WEST LINE FOR 340 FEET, THENCE SOUTH 63°20' EAST FOR 562 FEET, MORE OR LESS, TO THE WEST BOUNDARY OF THE PACIFIC HIGHWAY, THENCE NORTHEASTERLY ALONG THE WEST BOUNDARY OF SAID PACIFIC HIGHWAY FOR 297 FEET, THENCE NORTH 63°20' WEST FOR 772 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING,

EXCEPT DUMAS ROAD UNDER AUDITOR'S FILE NUMBER 1220276,

AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NO 9904120966.

TOTAL CONTAINING 1,444 SQUARE FEET, MORE OR LESS.

TAX PARCEL NUMBER: 280531001021

## VICINITY MAP





**PROJECT DESIGN TEAM**

**OWNER:**  
MILL CREEK SPORTS  
15704 MILL CREEK BLVD. SUITE 5  
MILL CREEK WA 98012  
(425) 742-8500  
CONTACT: SCOTT MAHLUM  
EMAIL: MILCRCSP@AOL.COM

**CIVIL ENGINEER:**  
SDA  
1724 WEST MARINE VIEW DRIVE, SUITE 140  
EVERETT, WA 98201  
(425) 486-6533 x 101  
CONTACT: BILL HELSLEY  
EMAIL: BHELSLEY@SDAENGINEERS.COM

**LANDSCAPE ARCHITECT:**  
MAIN STREET DESIGN  
9402 TIDAL COURT  
BAINBRIDGE ISLAND, WA 98110  
(206) 842-7886  
CONTACT: KEN LONEY  
EMAIL: MAIN\_STREET@EARTHLINK.NET

**WETLAND CONSULTANT:**  
WETLAND RESOURCES  
9505 19TH AVENUE SE, SUITE 106  
EVERETT, WA 98208  
(425) 337-3174  
CONTACT: NICK WHITING  
EMAIL: NICK@WETLANDRESOURCES.COM

**ARCHITECT:**  
LANCE MUELLER & ASSOCIATES  
130 LAKESIDE AVE, SUITE 250  
SEATTLE, WA 98122  
(206) 325-2553  
CONTACT: HAROLD CHRISTENSEN  
EMAIL: HAROLD@LMUELLER.COM

**STRUCTURAL ENGINEER:**  
ENGINEERS NORTHWEST  
9725 THIRD AVE. NE, SUITE 207  
SEATTLE, WA 98115  
(206) 52507560  
CONTACT: DALE KAEMINGK  
EMAIL: DALEK@ENGINEERSNW.COM

**GEOTECHNICAL ENGINEER:**  
TERRA ASSOCIATES, INC.  
12220 113TH AVENUE NE, SUITE 130  
KIRKLAND, WA 98034  
(425) 821-7777  
CONTACT: TED SCHEPPER  
EMAIL: TSCHEPPER@TERRA-ASSOCIATES.COM

**TRAFFIC ENGINEER:**  
JAKE TRAFFIC ENGINEERING, INC.  
2614 39TH AVENUE SW  
SEATTLE, WA 98116  
(206) 762-1978  
CONTACT: MARK JACOBS  
EMAIL: JAKETRAFFIC@COMCAST.NET

**CONTRACTOR**

**CONTRACTOR:**  
TCL PARTNERS  
16000 MILL CREEK BLVD, SUITE 103  
MILL CREEK, WA 98012  
(425) 316-3500  
CONTACT: BRIAN MERISKO  
EMAIL: BMERISKO@TCLPARTNERS.COM  
CONTRACTOR LIC. #: TCLPAPC91990

**LEGAL DESCRIPTION**

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 31, TOWNSHIP 28 NORTH, RANGE 5 EAST, W.M., IN SNOHOMISH COUNTY, WASHINGTON  
THENCE SOUTH ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION FOR 1029 FEET TO THE TRUE POINT OF BEGINNING,  
THENCE CONTINUING SOUTH ALONG SAID WEST LINE FOR 340 FEET,  
THENCE SOUTH 63°20' EAST FOR 562 FEET, MORE OR LESS, TO THE WEST BOUNDARY OF THE PACIFIC HIGHWAY,  
THENCE NORTHEASTERLY ALONG THE WEST BOUNDARY OF SAID PACIFIC HIGHWAY FOR 297 FEET,  
THENCE NORTH 63°20' WEST FOR 772 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING,  
EXCEPT DUMAS ROAD UNDER AUDITOR'S FILE NUMBER 1220276,  
AND EXCEPT THAT PORTION CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED UNDER RECORDING NO 9904120966.  
TOTAL CONTAINING 1,444 SQUARE FEET, MORE OR LESS.  
TAX PARCEL NUMBER: 280531001021

**PROJECT DATA**

ZONING DESIGNATION: CB - COMMUNITY BUSINESS

SITE DATA SUMMARY	REQ'D/ALLOWED:	PROPOSED:
AREA OF PROPOSED STRUCTURES:	64,625 SF	16,062 SF
SITE AREA:	7,200 S.F. MIN.	3.88 ACRES

**UTILITY PERVEYORS**

ELECTRICITY	SNOHOMISH COUNTY P.U.D.
NATURAL GAS	PUGET SOUND ENERGY
WATER	SILVER LAKE WATER AND SEWER DISTRICT
SEWER	SILVER LAKE WATER AND SEWER DISTRICT

**BUILDING DATA**

CODES USED: 2012 IBC, IMC, UPC, IFC, 2009 ICC ANSI 117.1, 2012 WSNREC & CITY OF MILL CREEK ZONING CODE

TYPE OF CONSTRUCTION: TYPE V-B, SPRINKLED

OCCUPANCY GROUP: M, B & S-1

(NOTE: ACCESSORY S-1 STORAGE & B OFFICE USES, BOTH NON-SEPARATED, PER IBC TABLE 508.4)

**OCCUPANT LOADS**

FIRST FLOOR OCCUPANT LOAD:		
SALES FLOOR (2,256/60)	45 OCC.	
STORAGE (8,147/500)	16 OCC.	
SECOND FLOOR OCCUPANT LOAD:		
OFFICE (2,719/100)	27 OCC.	
TOTAL OCCUPANT LOAD	88 OCC.	

NUMBER OF STORIES: 2

ALLOWABLE FLOOR AREA CALCULATIONS:  
(M OCCUPANCY, NON-SEPARATED CLASSIFICATION, PER I.B.C. 302.1, ALLOWABLE HT. & AREA PER I.B.C. TABLE 503)  
At = BASIC AREA 9,000 S.F., 1 STORY

STORY INCREASE TO 2 PER IBC SECTION 504.2.

AREA MODIFICATIONS, PER IBC SECTION 506.1 - GROUP M, TYPE V-B  
A<sub>0</sub> = At + [At X I<sub>f</sub>] + [At X I<sub>s</sub>]  
A<sub>0</sub> = 9,000 + [9,000 X 0.75] + [9,000 X 2]  
A<sub>0</sub> = 9,000 + 6,750 + 18,000 = 33,750 S.F. ALLOWED  
(ACTUAL PROPOSED = 10,403 S.F.)

FRONTAGE INCREASE, PER IBC 506.2  
I<sub>f</sub> = [F/P - 0.25] W/30  
I<sub>f</sub> = [1 - 0.25] 30/30  
I<sub>f</sub> = 0.75  
I<sub>s</sub> = 2 (IBC 504.2)

**BUILDING AREA:**

PROPOSED BUILDING AREA (FOOTPRINT)	10,403 S.F.
SECOND FLOOR	2,719 S.F.
TOTAL BUILDING AREA	13,122 S.F.

**REQUIRED PARKING:**

RETAIL 1/250 S.F. / 2,256 S.F.	9 STALLS
OFFICE 1/800 S.F. / 2,719 S.F.	3 STALLS
STORAGE 1/1,000 S.F. / 8,147 S.F.	8 STALLS
TOTAL STALLS REQUIRED	20 STALLS

**PROVIDED PARKING:**

STANDARD	20 STALLS
COMPACT (24%)	7 STALLS
ACCESSIBLE	2 STALLS
TOTAL STALLS PROVIDED	29 STALLS

**PROJECT SCOPE**

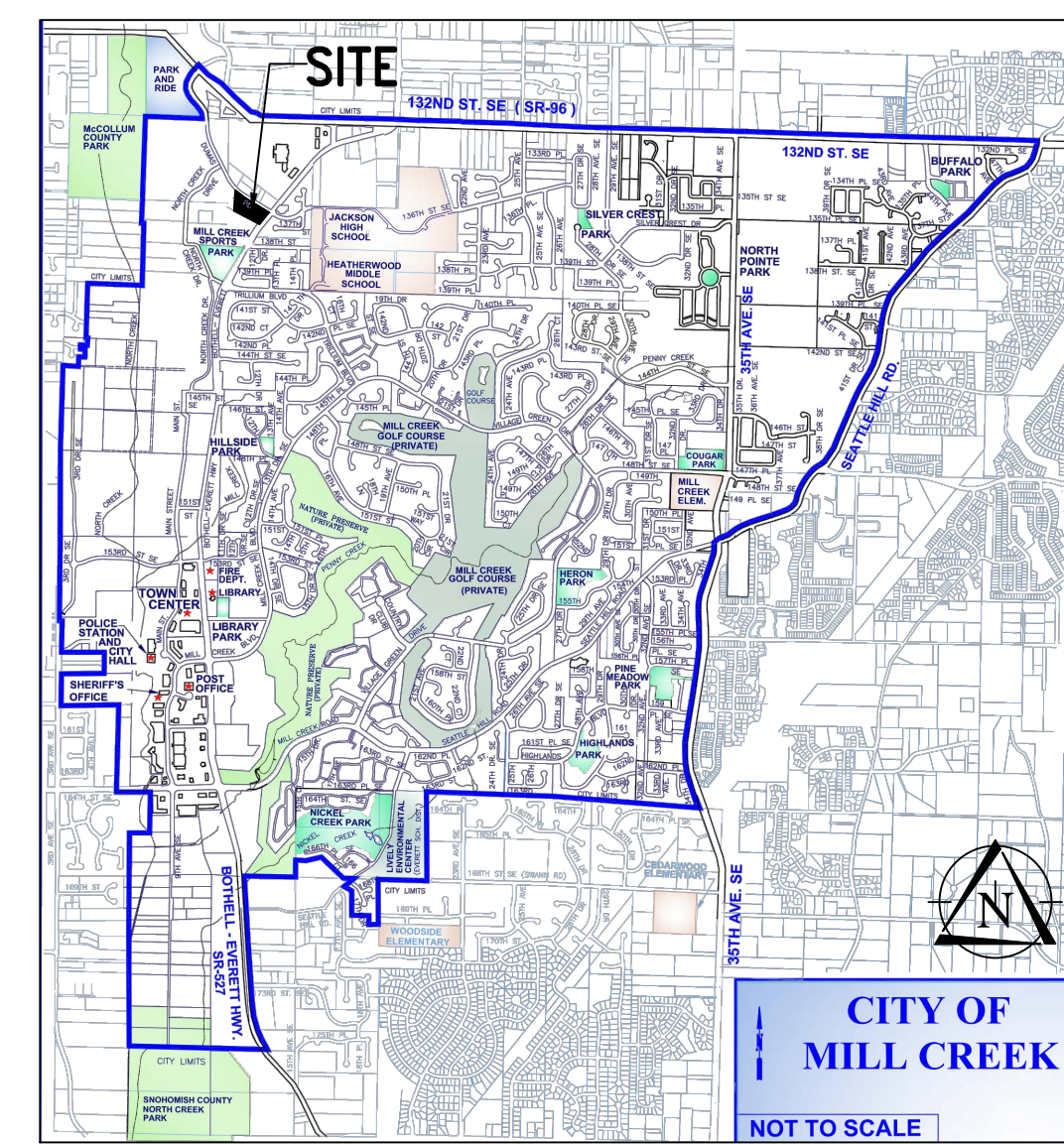
CONSTRUCT BUILDING FOR MILL CREEK SPORTS. FIRST FLOOR WILL HAVE RETAIL SALES AREA FOR SPORTS MEMORABILIA AND STORAGE AREA FOR SPORTS RELATED SUPPLIES FOR SALES AREA. UPPER FLOOR WILL HAVE ADMINISTRATIVE OFFICES FOR MILL CREEK SPORTS STAFF.



**CIVIL LEGEND**

- FOUND MONUMENT IN CASE FOUND REBAR AND CAP AS NOTED
- SEWER MANHOLE
- CATCH BASIN
- STORM DRAIN MANHOLE
- CULVERT
- TELEPHONE RISER
- POWER VAULT
- POWER METER
- GUY ANCHOR
- UTILITY POLE WITH TRANSFORMER
- UTILITY POLE W/ LIGHT & TRANSFORMER
- HOSE BIB
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- GAS METER
- SIGN
- MAILBOX
- THERMAL ARROW
- EXISTING DRAINAGE PATTERN
- BOUNDARY LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD POWER LINE
- POWER LINE
- TELECOMMUNICATIONS LINE
- OVERHEAD POWER AND TELECOMMUNICATIONS
- WATER LINE
- GAS LINE
- CHAIN LINK FENCE LINE
- WOOD FENCE LINE
- WIRE FENCE LINE

**VICINITY MAP**



**PROJECT ADDRESS**

1200 DUMAS ROAD, MILL CREEK, WASHINGTON 98012

**INDEX OF DRAWINGS**

- ARCHITECTURAL**
- A1.0 SITE PLAN, COVER SHEET
  - A1.1 PARKING DIMENSION PLAN, DETAILS
  - A1.2 ENLARGED PLANS, SITE DETAILS

**SURVEY LEGEND**

- WETLAND FLAG
- HANDICAP RAMP
- SOIL LOG
- INFORMATION SIGN
- SANITARY SEWER MANHOLE
- SANITARY SEWER STUB MARKER POST
- STORM DRAIN CATCH BASIN
- STORM DRAIN CLEAN OUT
- STORM DRAIN MANHOLE
- LUMINAIRE W/ARM
- LUMINAIRE
- GUY ANCHOR
- ELECTRICAL JUNCTION PULL/BOX
- POWER POLE W/DROP LINE
- POWER POLE W/LIGHT
- POWER POLE W/LIGHT & TRANS.
- SIGNAL JUNCTION BOX
- TRAFFIC SIGNAL POLE
- TELEPHONE MANHOLE
- TELEPHONE RISER
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- LEFT TURN ARROW
- ALDER
- BIRCH
- CONIFER
- CEDAR
- CLUSTER
- COTTONWOOD
- DECIDUOUS
- FIR
- FRUIT
- MAPLE
- PINE
- WILLOW
- FOUND IRON PIPE
- FOUND CASED MONUMENT
- FOUND REBAR & CAP
- SET HUB & TACK
- SET PK NAIL
- SET REBAR & CAP
- SPOT ELEVATION
- EXISTING GROUND CONTOURS
- 100' WETLAND SETBACK LINE, SEE NOTE 6
- EDGE OF WATER
- GUARD RAIL
- FENCE HOG WIRE
- GAS
- POWER, BURIED
- POWER, OVERHEAD
- STORM
- SEWER
- WATER

**6 PRELIMINARY SITE PLAN**  
Scale: 1"=40'-0"

**15-063**  
Job No.

Harold C. Mueller  
Architect  
Checked  
12-22-15  
Date

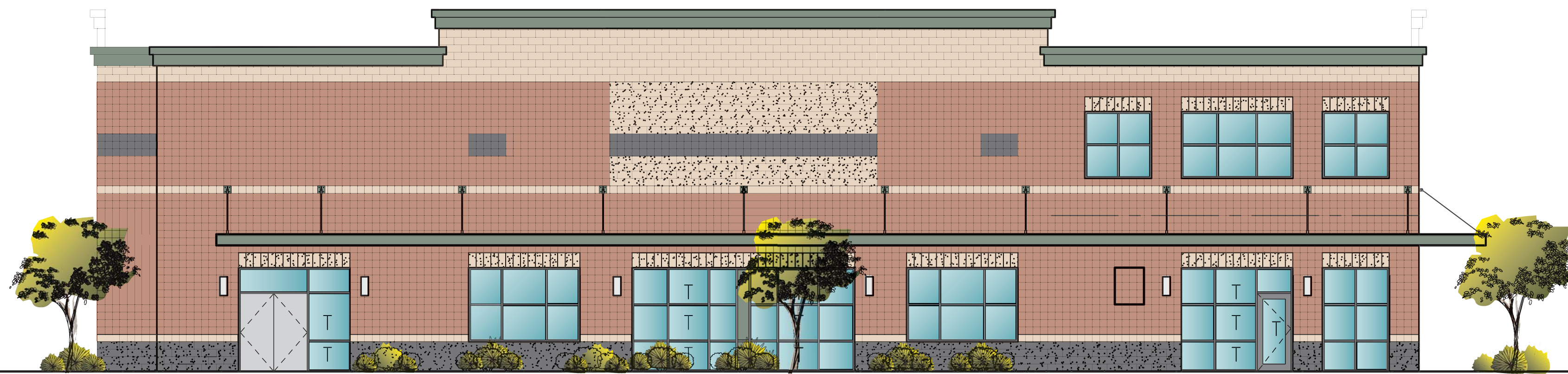
2396 REGISTERED ARCHITECT  
Harold C. Mueller  
STATE OF WASHINGTON

New Building For  
**Scott Mahlum**  
**Mill Creek Sports**  
1200 Dumas Road  
Mill Creek, WA 98012

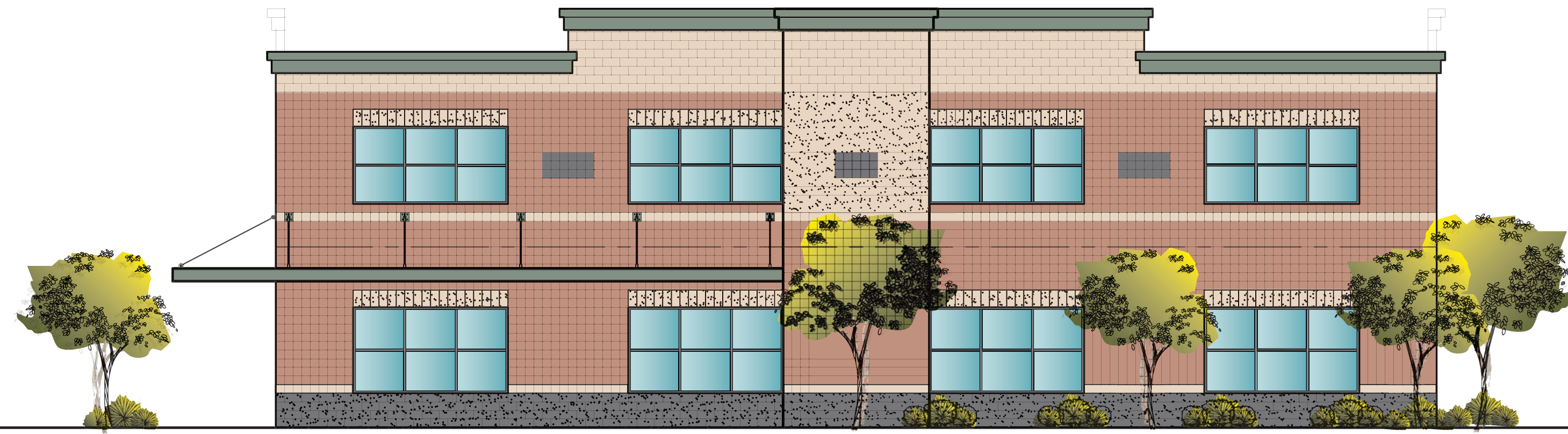
**SITE PLAN, COVER SHEET**

LANCE MUELLER & ASSOCIATES  
ARCHITECTS  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

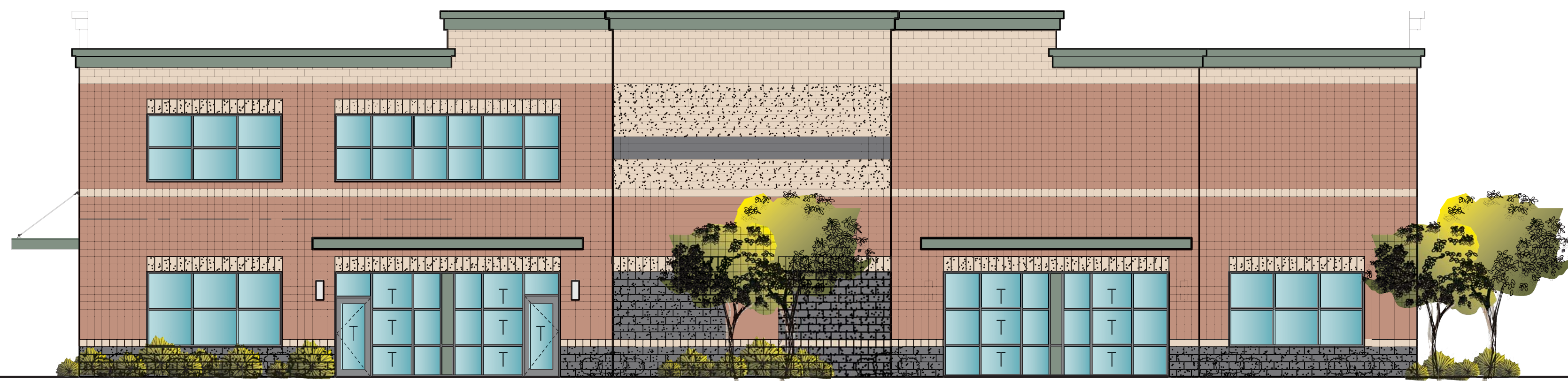
sheet  
**A1.0**



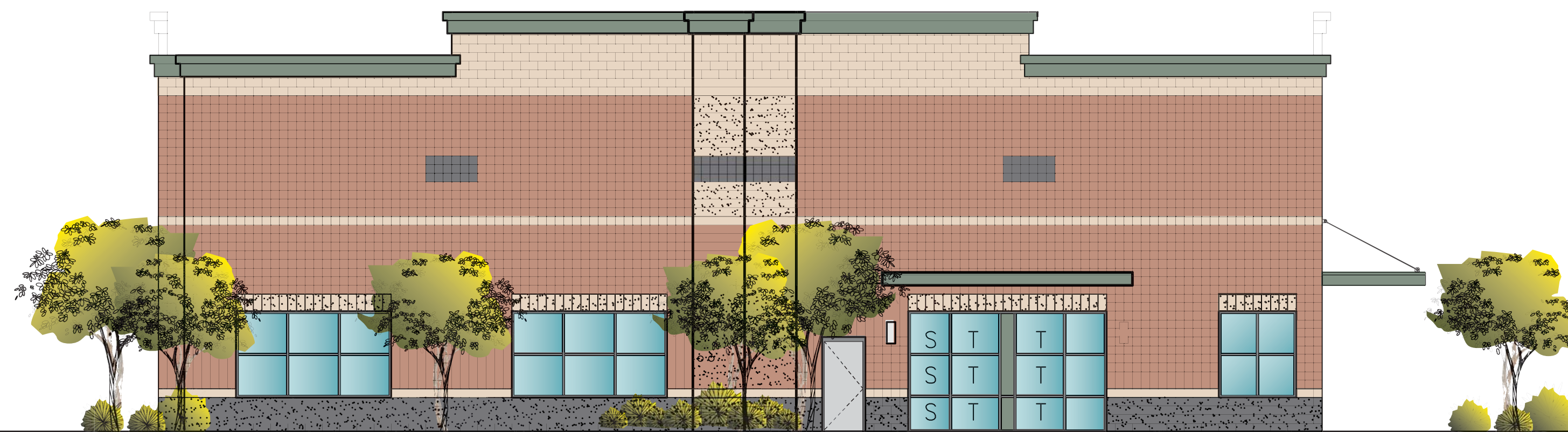
**WEST ELEVATION**  
Scale: 1/8"=1'-0"



**SOUTH ELEVATION**  
Scale: 1/8"=1'-0"



**EAST ELEVATION**  
Scale: 1/8"=1'-0"



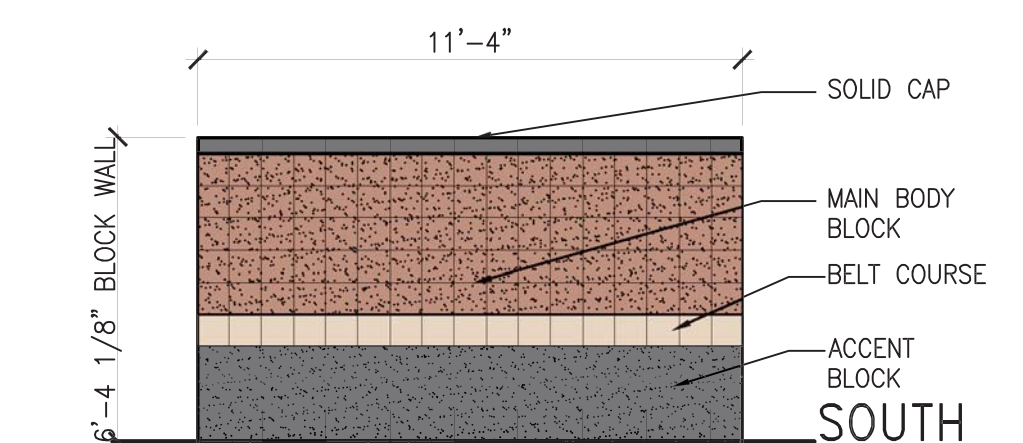
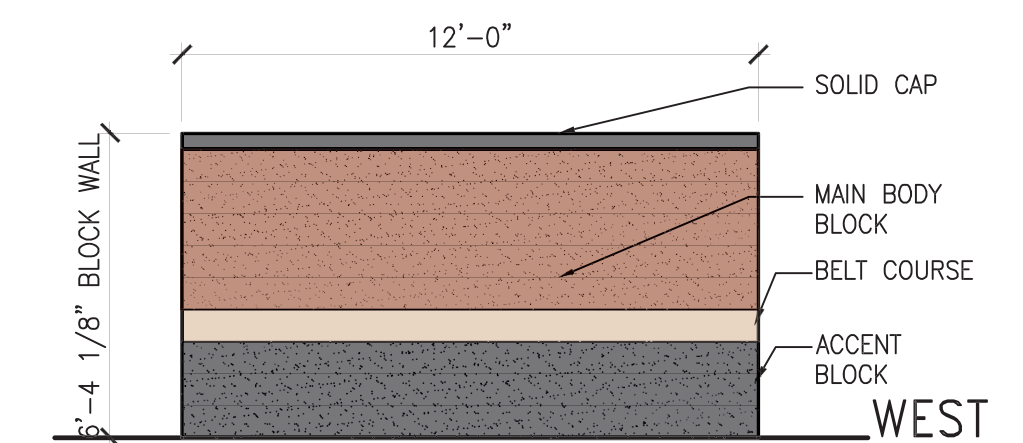
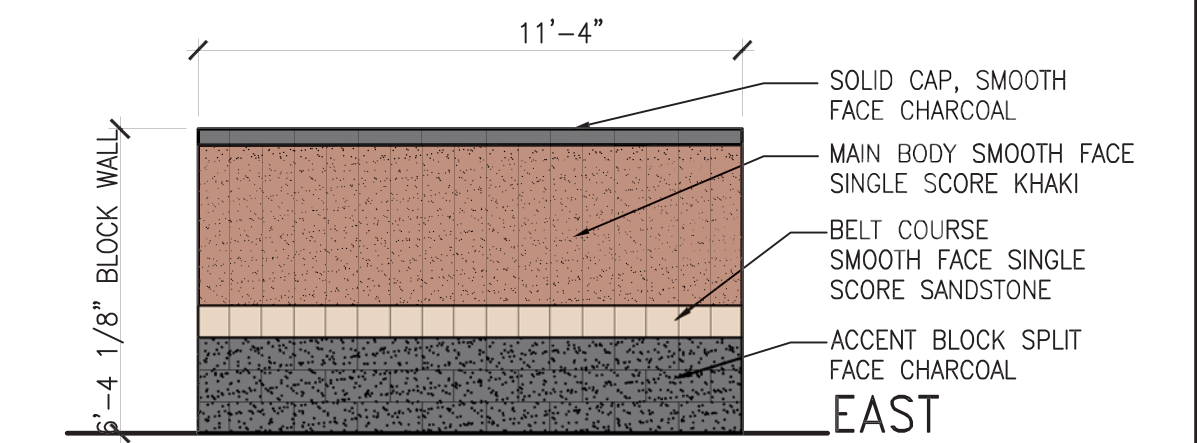
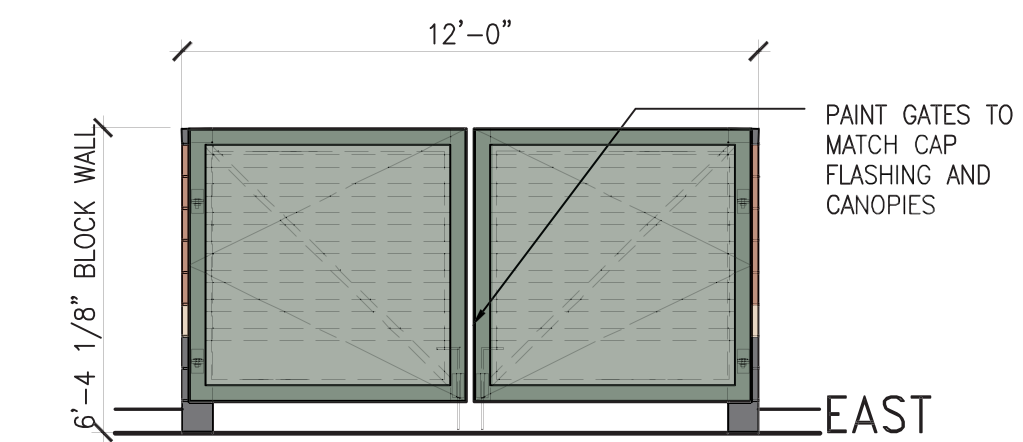
**NORTH ELEVATION**  
Scale: 1/8"=1'-0"

**ELEVATION FINISH KEY**

- STANDARD CMU BLOCK WHERE NOT EXPOSED TO VIEW (NOT SHOWN IN ELEVATIONS. SEE SECTIONS) = CMU-1
- ACCENT BASE CMU BLOCK (MUTUAL MATERIALS SPLIT FACE, CHARCOAL) = CMU-2
- UPPER AND LOWER ACCENT BELT COURSE (MUTUAL MATERIALS SMOOTH FACE, SINGLE SCORE, SANDSTONE) = CMU-3
- MAIN BODY CMU BLOCK (MUTUAL MATERIALS SMOOTH FACE, SINGLE SCORE, KHAKI) = CMU-4
- UPPER CMU BLOCK BELOW CORNICE (MUTUAL MATERIALS GROUND FACE, SANDSTONE) = CMU-5
- ACCENT MEDALLIONS (MUTUAL MATERIALS SMOOTH FACE, SINGLE SCORE, CHARCOAL) = CMU-6
- UPPER ACCENT BLOCK AROUND ACCENT MEDALLIONS AND WINDOW HEAD (MUTUAL MATERIALS SPLIT FACE, SANDSTONE) = CMU-7
- PRE-FINISHED METAL AT CORNICE AND METAL CANOPIES (MATCH AEP "COOL HEMLOCK GREEN")
- INSULATED VISION GLASS (CLEAR DOUBLE PANE GLASS WITH LOW E COATING)

**ELEVATION NOTES**

1. T = TEMPERED GLASS
2. S = SPANDREL GLASS. LIGHT COLOR OPACIFIER ON INSULATED GLAZING UNIT.



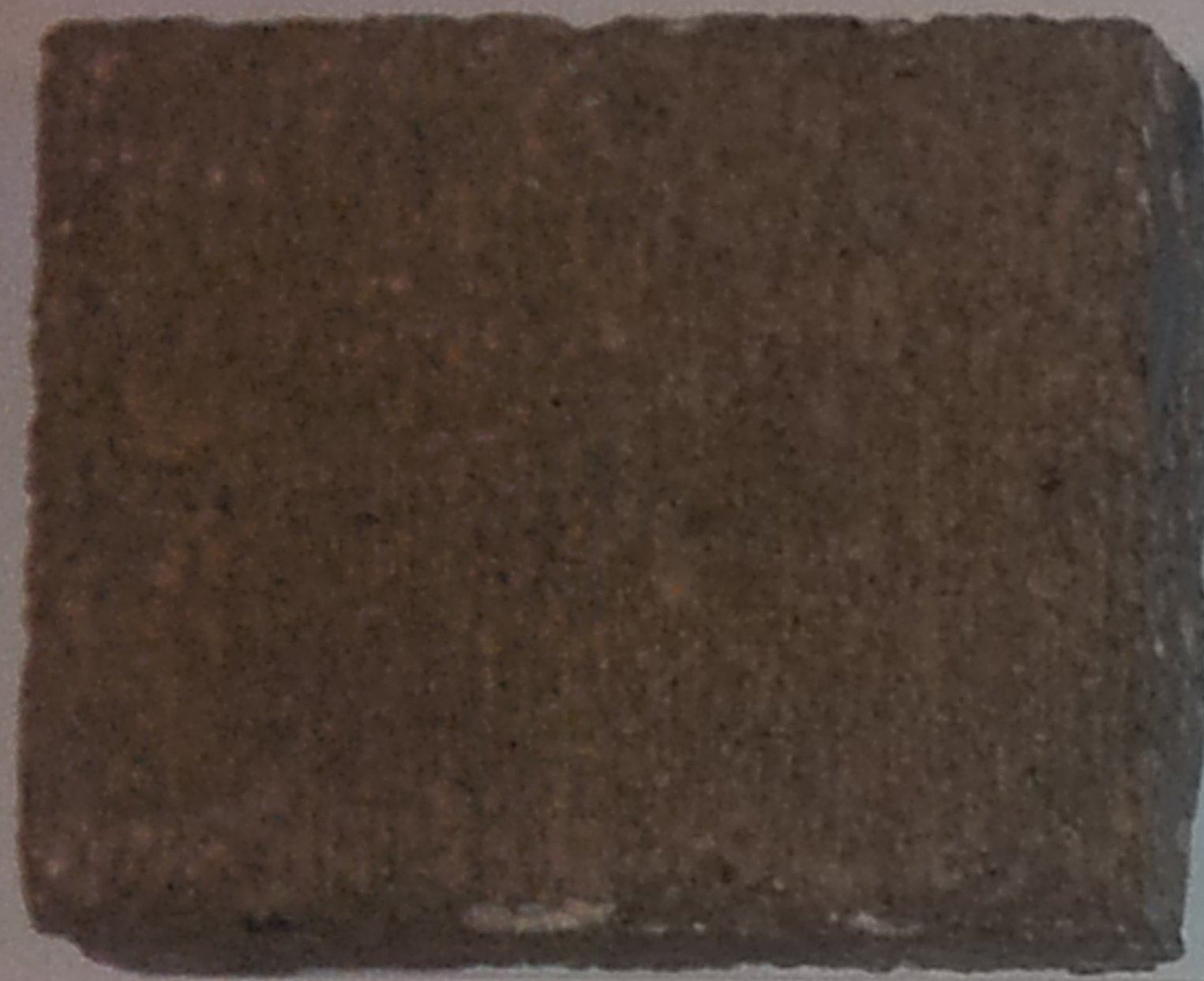
**TRASH ENCLOSURE ELEVATIONS**  
Scale: 1/4"=1'-0"

15-083				
job no.				
drawn	Harold C.	checked		date
no.		revision		date

New Building For  
**Scott Mahlum**  
**Mill Creek Sports**  
 1200 Dumas Road  
 Mill Creek, WA 98012

**LANCIE MUELLER & ASSOCIATES**  
 ARCHITECTS  
 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

P:\Projects\15-083\_mahlum\_projects\_mill\_creek\_sports\working\15083.dwg



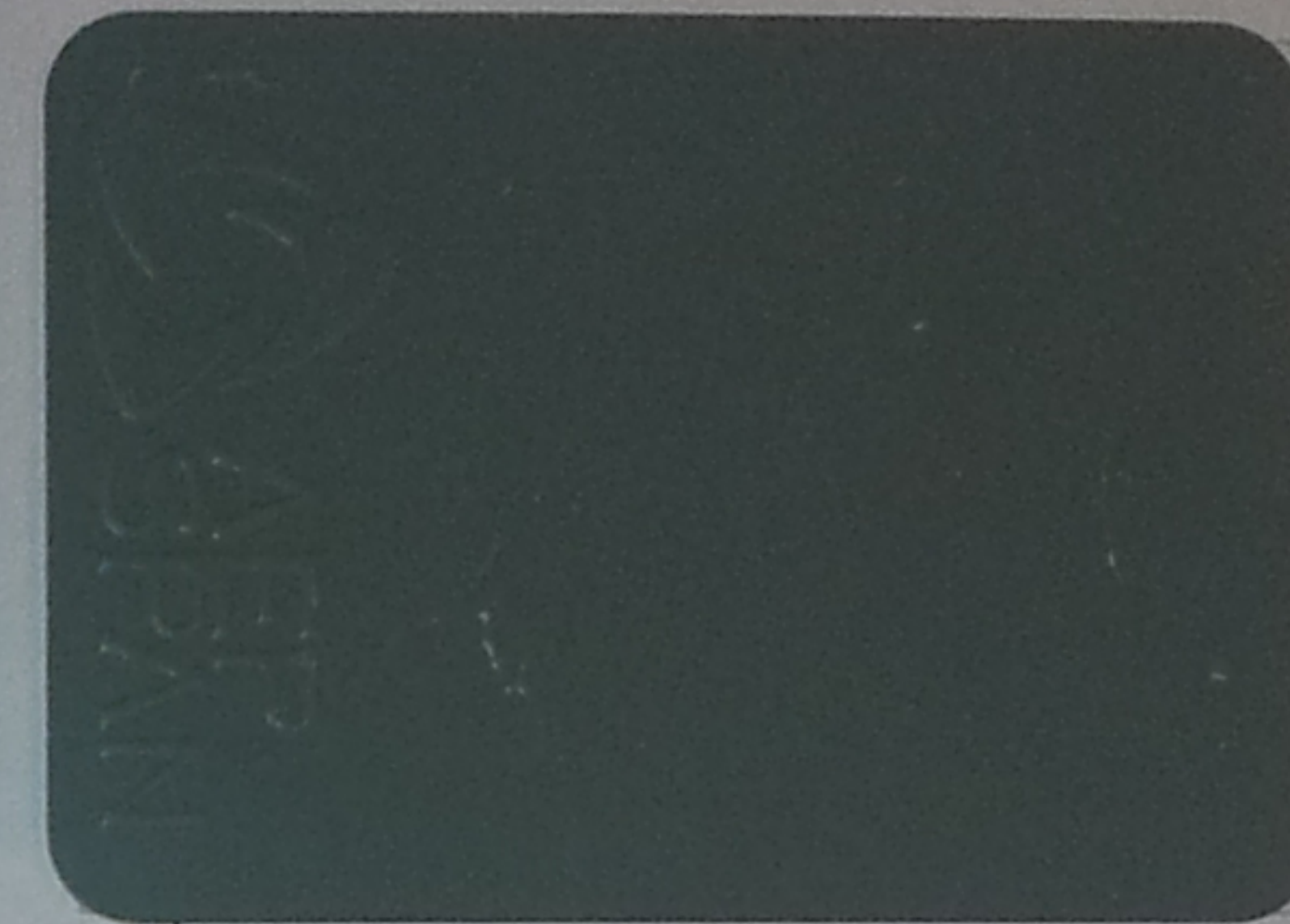
**MAIN BODY BLOCK,  
SMOOTH FACE SINGLE  
SCORE 'KHAKI'**



**UPPER BLOCK BELOW  
CORNICE, GROUND FACE  
'SANDSTONE'**



**ACCENT MEDALLION BLOCK,  
SMOOTH FACE SINGLE  
SCORE 'CHARCOAL'**



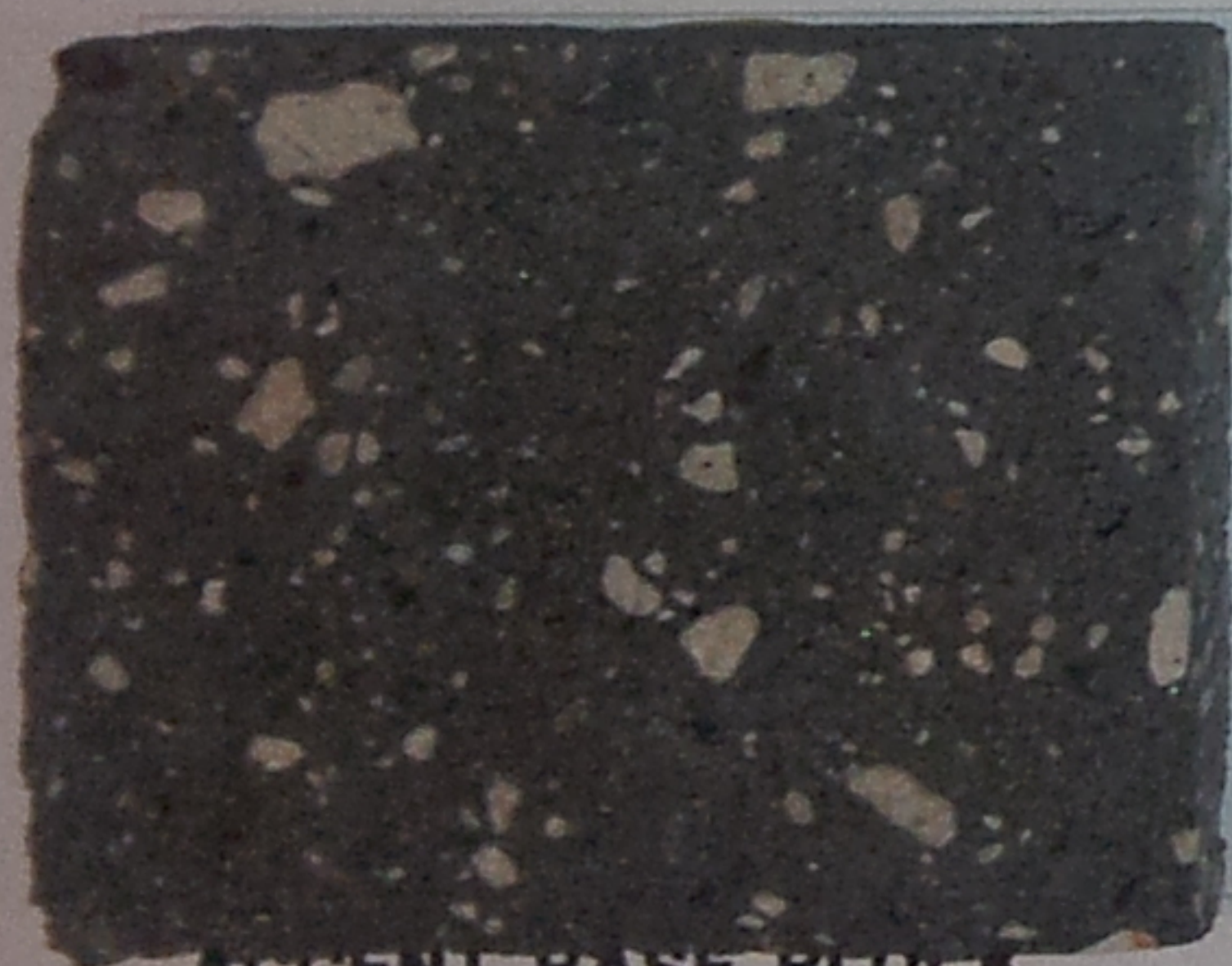
**CORNICE AND CONOPIES,  
AEP 'COOL HEMLOCK  
GREEN'**



**UPPER AND LOWER BELT  
COURSE, SMOOTH FACE  
SINGLE SCORE 'SANDSTONE'**



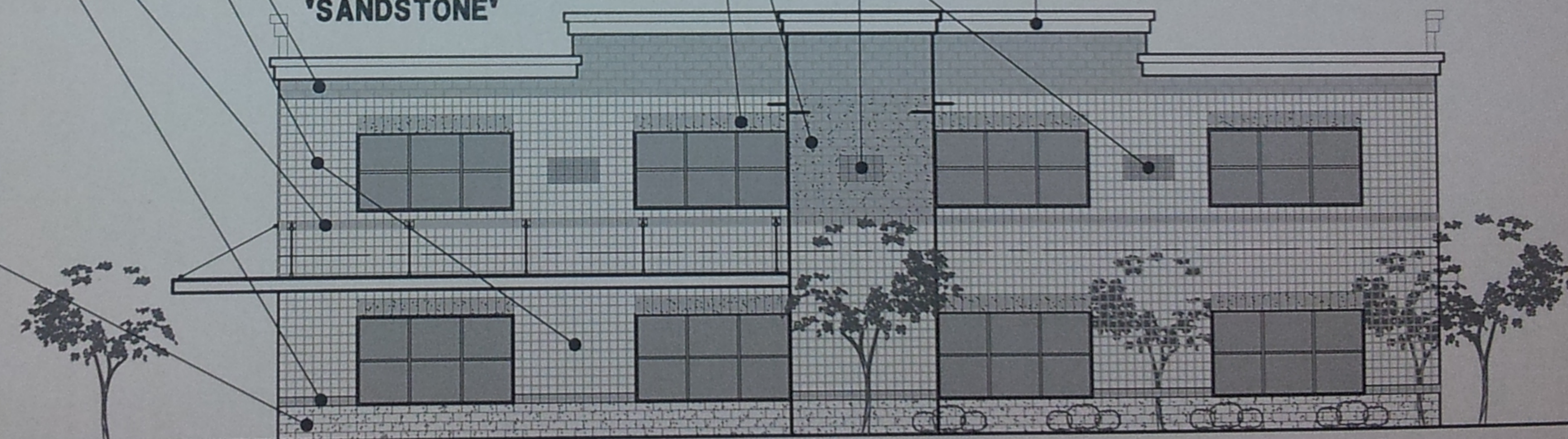
**UPPER ACCENT BLOCK &  
WINDOW HEAD, SPLIT FACE  
'SANDSTONE'**



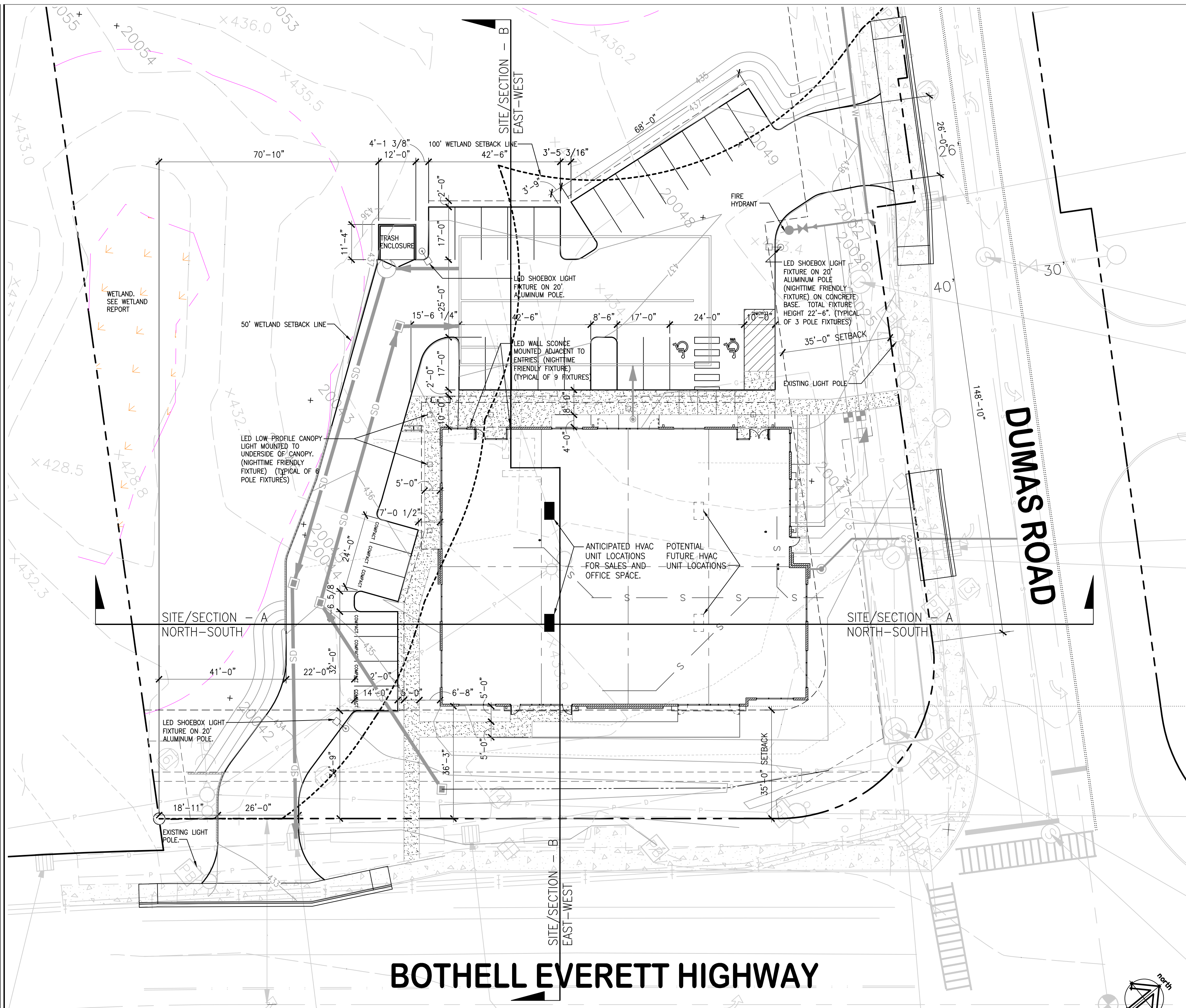
**ACCENT BASE BLOCK,  
SPLIT FACE 'CHARCOAL'**

**GLASS IS CLEAR WITH LOW  
'E' COATING.**

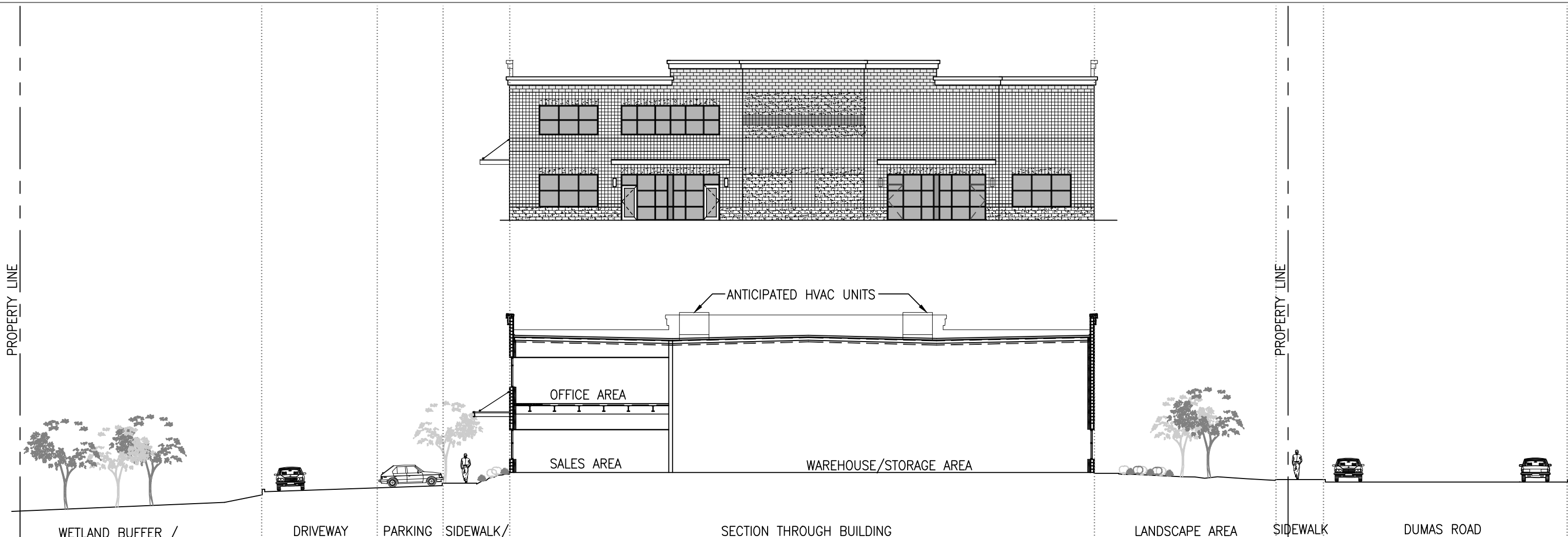
**LANGE MUELLER & ASSOCIATES**  
ARCHITECTS AIA  
130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553



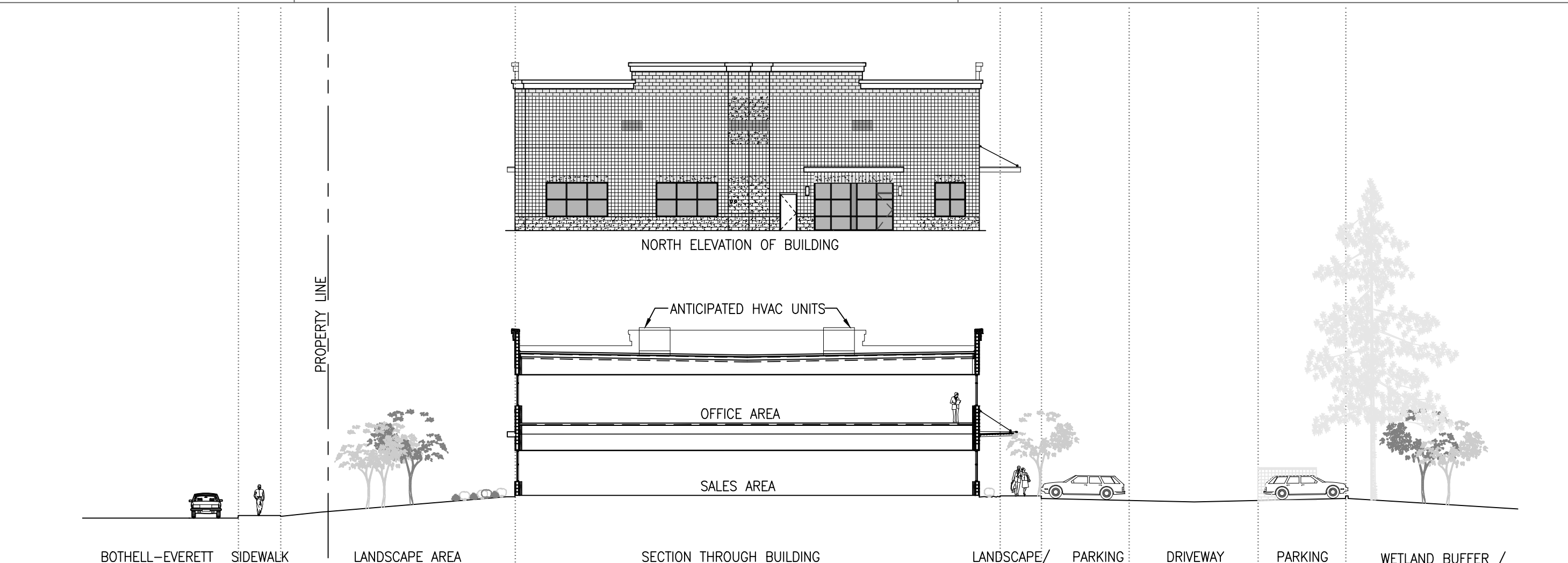
# MILL CREEK SPORTS BUILDING



**(A) PARKING DIMENSION PLAN/ROOF PLAN**  
Scale: 1"=20'-0"

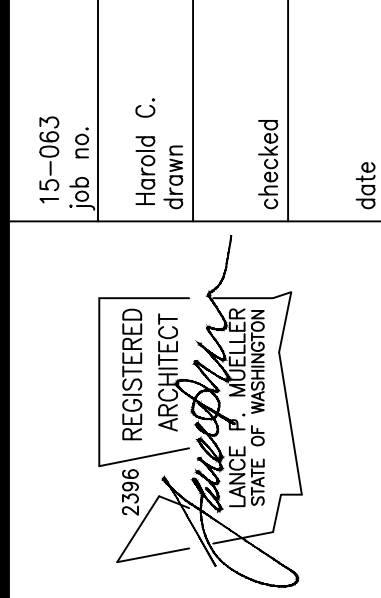


**(16) SITE SECTION - NORTH-SOUTH AT DUMAS ROAD**  
Scale: 1"=20'-0"



**(19) SITE SECTION - EAST-WEST AT BOTHELL-EVERETT HIGHWAY**  
Scale: 1"=20'-0"

15-063	job no.	checked	date
Harold C.	drawn	DESIGN REVIEW BOARD	4-27-16
	no.	revision	date



New Building For  
**Scott Mahlum**  
**Mill Creek Sports**  
 1200 Dumas Road  
 Mill Creek, WA 98012

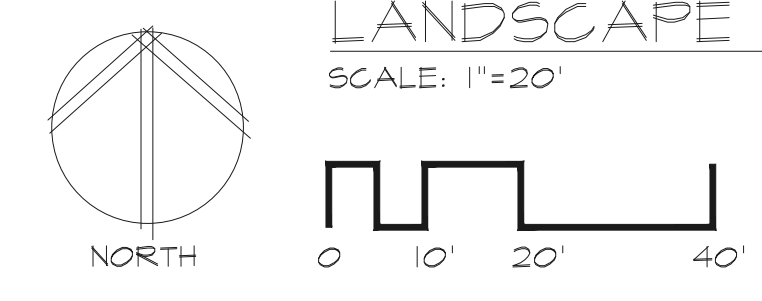
**PARKING DIMENSION/ROOF PLAN, DETAILS**  
**LANDE MUELLER & ASSOCIATES**  
 ARCHITECTS  
 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553  
 sheet  
**A1.1**

4:\projects\15063\_mahlum\_property\_mill\_creek\design\_review\_package\15063-site-section.dwg  
 4/27/2016 10:53 AM

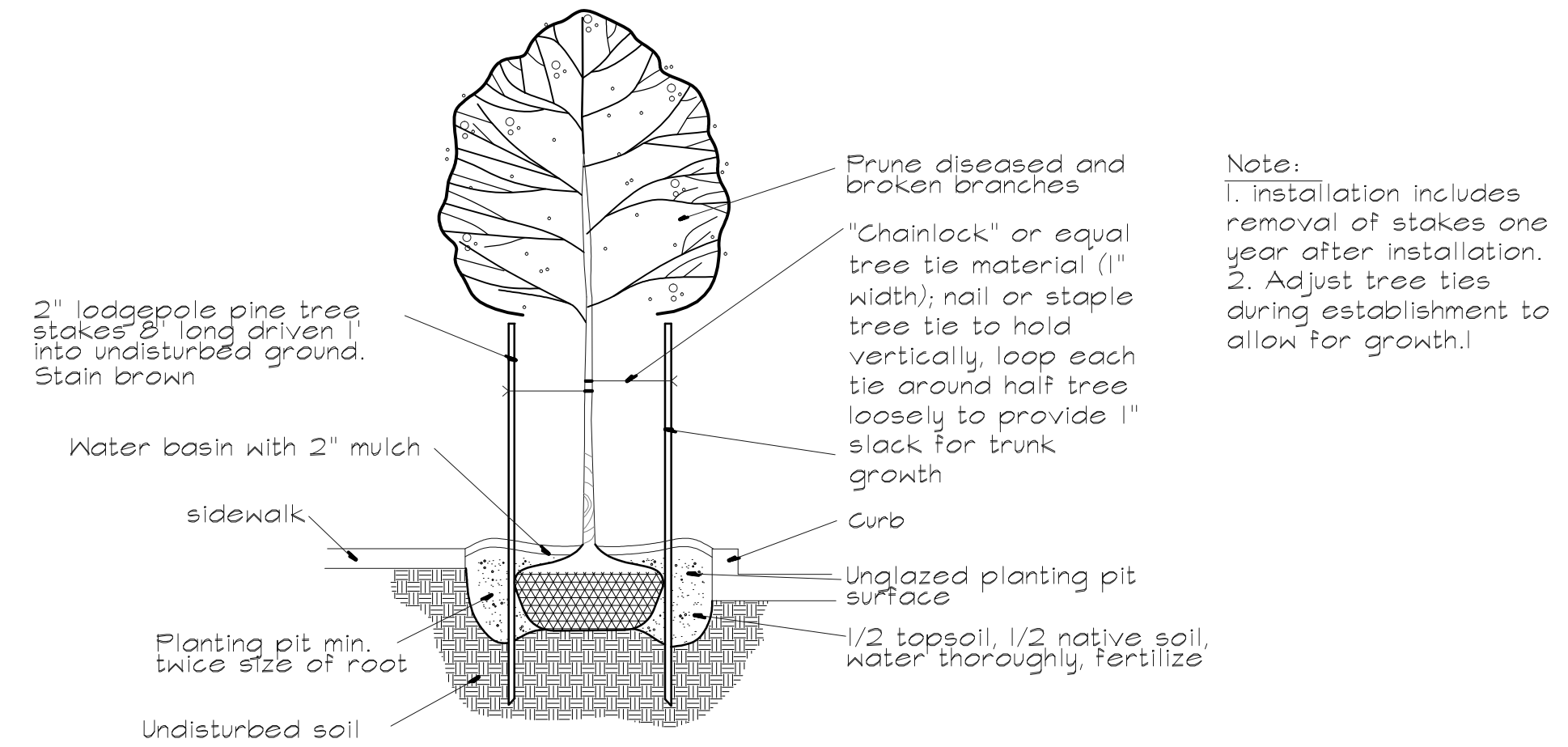
c:\projects\mill creek sports\mill creek sports - lsf7.dwg  
12/28/18



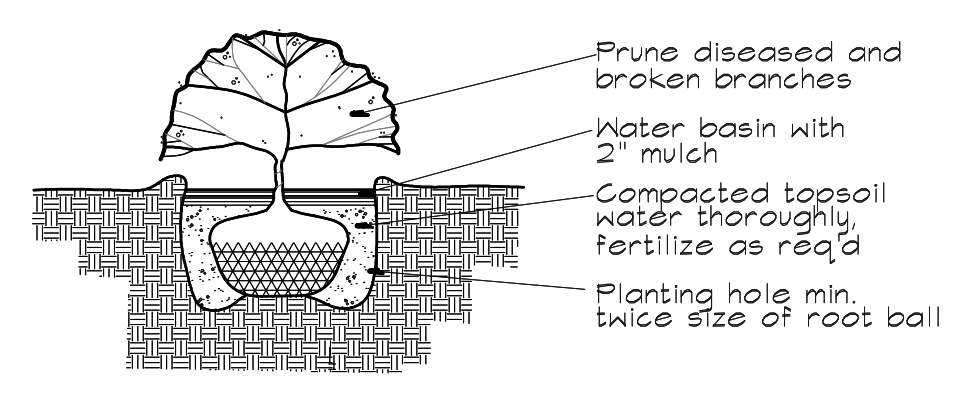
**PARKING AREA TREES**  
 Number of parking spaces.....29  
 Number of trees required.....29 ÷ 4 = 7.25  
 Number of trees provided.....7



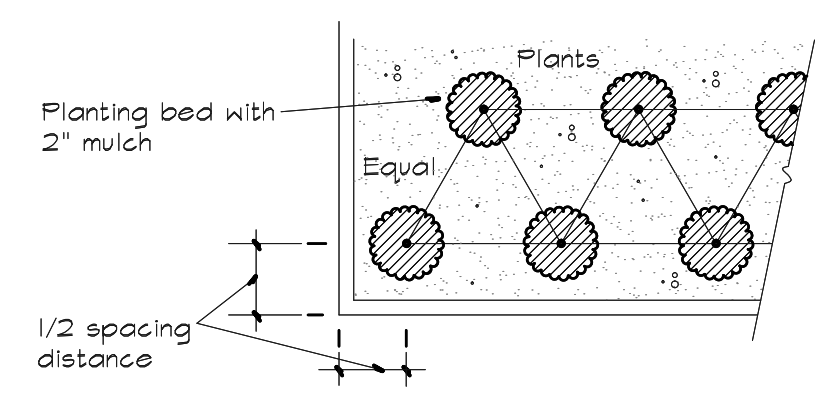
**LANDSCAPE PLAN**  
 SCALE: 1"=20'



**STREET TREE PLANTING DETAIL**  
 No Scale



**SHRUB PLANTING DETAIL**  
 No Scale



**GROUND COVER SPACING DETAIL**  
 No Scale- Triangular Spacing

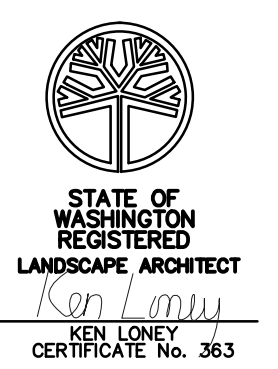
**NOTES**

1. Subgrades, including berms, to within 1/10th foot provided by General Contractor unless otherwise noted.
2. Subgrade shall be scarified or rototilled if conditions require.
3. 4" depth 3-way topsoil or equal in all planting areas.
4. 2" depth fine grade bark mulch in all planting beds.
5. All plant material shall be healthy, full and conform to USA standard nursery stock, latest edition.
6. Plant material of size or kind not available may be substituted only with approval of Landscape Architect or Owner.
7. All mass plantings shall have triangular spacing.
8. All tree pits shall be inspected to insure proper drainage.
9. Positive drainage shall be maintained. Mound planting areas minimum 6".
10. Landscape Contractor shall maintain site until final inspection and acceptance by Owner.

**PLANT LIST**

SYMBOL	BOTANICAL / COMMON	*QUANTITY	SIZE	CONDITION
	<i>Acer rubrum</i> 'Red Sunset' / Red Sunset Maple	4	2" cal.	B&B
	<i>Pyrus calleryana</i> 'Chanticleer' / Chanticleer Pear	7	2" cal.	B&B
	<i>Thuja O.</i> 'emerald green' / Emerald Green Arborvitae	15	6' min	B&B
	<i>Cornus sericea</i> Bailey / Bailey Red Twig Dogwood	24	5 gallon	full & bushy
	<i>Rhododendron</i> Unique / Unique Rhododendron	30	5 gallon	full & bushy
	<i>Lonicera pileata</i> / Privet Honeysuckle	183	1 gallon	full & bushy
	<i>Pennisetum alopecuroides</i> 'Hameln' / Fountain Grass	45	5 gallon	full & bushy
	<i>Prunus L.</i> 'Otto Luyken' / Otto Luyken Laurel	28	21"	full & bushy
	<i>Lavandula a.</i> 'Hidcote' / Hidcote Lavender	70	2 gallon	full & bushy
	<i>Nandina domestica</i> 'Harbour Dwarf' / Harbour Dwarf Nandina	38	2 gallon	full & bushy
	<i>Calluna vulgaris</i> 'Corbetts Red' / Corbetts Red Heather	81	1 gallon	full & bushy
	<i>Festuca glauca</i> 'Elija Blue' / Blue Fescue	83	1 gallon	full & bushy
	<i>Hemerocallis</i> 'Stella de Oro' / Daylily	78	1 gallon	full
	<i>Arcostaphylos uva-ursi</i> / kinnikinnik		4" pots	full
	Sodded Lawn		18" o.c.	

\* Confirm all plant quantities



**MAIN STREET DESIGN**  
 LANDSCAPE ARCHITECTURE  
 9402 Tidal Court (206) 843-7886  
 Bothell WA 98110

15-063 job no.  
 Harold C. draw  
 checked  
 12/18/15 date

4/25/16 CITY COMMENTS  
 5/24/16 CITY COMMENTS  
 2/24/16 SITE PLAN REVISIONS

15-063 job no.  
 Harold C. draw  
 checked  
 12/18/15 date

revision no.

New Building For  
**Scott Mahlum**  
**Mill Creek Sports**  
 1200 Dumas Road  
 Mill Creek, WA 98012

**LANDSCAPE PLAN**

**LANDE MUELLER & ASSOCIATES**

A R C H I T E C T S  
 130 LAKESIDE • SUITE 250 • SEATTLE, WA 98122 • (206) 325-2553

sheet

L-1